



REQUEST FOR PROPOSALS

Municipality of the District of Clare

**Detailed Design – Havelock Fire Department and
Community Centre**

August 26, 2026

Request for Proposals

Municipality of the District of Clare Detailed Design – Havelock Fire Department and Community Centre

1. MUNICIPAL PROFILE

Settled in 1768 and incorporated in 1879, the Municipality of the District of Clare (“the Municipality”) remains Nova Scotia’s only municipal unit to conduct its business and offer its services in both official languages. With a land area of 852.55 km² and boasting a population of approximately 8,000 residents, the Municipality is governed by an eight-member council, with Yvon LeBlanc as its Warden and Stéphane Cyr as its Chief Administrative Officer.

Historically, the Municipality’s economy has been driven by both the fisheries and forestry sectors. While still solidly anchored in the fishery (lobster, scallops, ground fish), the region’s economy has grown to include other resource-based industries (i.e., agriculture), manufacturing, retail trade, healthcare and social services, and education.

The Municipality is home to some 150 small and medium-sized business, with its largest employers being Comeau’s Sea Foods Ltd., A.F. Thériault & Son Ltd., Université Sainte-Anne, and Villa acadienne. Key economic attributes include a bilingual labour pool, competitive labour costs, local access to specialized training, proximity to deep-sea ports and the US marketplace, and low-cost housing.

In terms of its financial position, the Municipality’s audited financial statements for the year ending March 31, 2025, show a liquid and financially stable organization with \$15,556,112 in revenue, an annual surplus of \$4,524,091 and capital assets of \$25,266,139.

2. OVERVIEW OF THE PROJECT

The Municipality of the District of Clare is seeking to contract the services of a qualified architectural / engineering firm to complete the detailed design of the new Havelock Fire Department and Community Centre, to be located in Hasset, Digby County NS.

Attachment: Property Online Map of PID 30382832

To this end, the Municipality is seeking to mirror the design of the existing Salmon River Fire Department, located at 4821 Highway 1 Salmon River, Digby County NS, while also incorporating key modifications to tailor the building to the specific needs of both the Havelock Fire Department and the Havelock Community Centre stakeholders.

Attachement: Design Plans – Salmon River Fire Hall

3. SCOPE OF WORK

The proposed scope of work for this engagement will be broken into the following two phases:

Phase 1:

i. Topographical Survey / Data Collection:

- Collect existing information on the site including record drawings, mapping, etc.
- Complete onsite topographical survey of the site using GPS, for use to develop a base plan for design.
- Prepare a base plan of existing conditions (roads, ditches, utility poles, driveways, drainage infrastructure, landscaping, water, sewer, etc.).

ii. Design Plans

- Prepare detailed design plans/profiles, in consultation with project stakeholders, for the proposed construction (complete with detail sheets).
- Complete specifications and tender forms in accordance with the National Building Code of Canada and the Accessibility Act of Nova Scotia.
- Prepare a construction cost estimate.

Phase 2:

iii. Tender Phase Services

- Provide services during the tender phase, including responding to inquiries and possibly issuing addenda.
- Review the tenders and make a recommendation for award to the Municipality.
- Collect the addenda (if any) and re-issue the plans for construction.

iv. **Construction Phase Services**

- Hold a construction kick-off meeting at the Municipal Office including agenda and minutes.
- Provide full-time inspection services for the duration of construction including construction oversight, quantity measurements, review of contractor progress claims, answering of contractor questions and troubleshooting.
- Collect record information (“as-built” information) and produce record drawings.
- Respond to requests for information and issue site instructions and contemplated change orders.
- Prior to Substantial Completion, carry out a deficiency inspection.
- Carry out a follow-up site review for Total Completion, once all the deficiencies are addressed, at the end of the warranty period for the construction works.

A schedule of fees and expenses must be provided for each phase.

Please note, while Phase 1 is expected to commence immediately following acceptance of proposal by the Municipality, Phase 2 is subject to confirmation of capital funding. The Municipality anticipates Phase 2 will start in Spring 2027 and will advise the successful firm accordingly.

4. REPORTING

The Municipality will be the contracting agency for this project and expects to be kept apprised of its progress. To that end, the chosen firm will liaise regularly with both the Municipality’s Chief Administrative Officer and Director of Public Works throughout the completion of this engagement.

5. PROPOSAL SUBMISSIONS

All proposals submitted in response to this Request for Proposals must contain the following:

- The name and coordinates of the firm, including those of the contact person for this project.
- A biography of the project lead and all other team members (if applicable) including name, qualifications, and relevant experience.
- A detailed description of the methodology to be employed in completing the proposed engagement.
- A schedule of fees and expenses, including the rates of remuneration for individual team members and the estimated amount of time each member will devote to the project.
- A proposed timeline for completion of the project.
- A signed statement by the proponent acknowledging their understanding of the scope of this assignment.

Proposals must be easy to read and void of irrelevant information, complicated language, abbreviations, and uncommon terms.

6. EVALUATION PROCESS

The evaluation process will be carried out by the Municipality and will take into consideration the following:

- Proponent qualifications
- Experience with similar engagements
- Proposed timeline for completion
- Proposed budget

Proponents may be contacted during the evaluation stage for clarification and/or further inquiries.

Please note, the proposal with the lowest bid will not necessarily be accepted. The Municipality may take into account other considerations deemed to be in the best interest of this project.

7. INQUIRIES AND ADDENDA

Clarification of terms and conditions regarding the RFP document, the RFP process and all other inquiries shall be directed by email to:

Stéphane Cyr
Chief Administrative Officer
Municipality of the District of Clare
E-mail: cao@munclare.ca

It is the sole responsibility of potential proponents to check the following website to ensure that all available information, including any addenda issued, has been received prior to submitting a proposal: <https://procurement-portal.novascotia.ca/tenders>

The decision to issue or not issue an addendum is entirely at the discretion of the Municipality. Any addendum will be incorporated into and become part of the RFP document. No amendment of any kind to the RFP is effective unless it is contained in a written addendum issued by the Municipality.

The deadline for inquiries concerning this RFP is 12:00 p.m. (AST) on September 14, 2026. The Municipality reserves the right not to respond to inquiries received after this deadline.

8. SUBMISSION DETAILS

Proposals must be received by September 15, 2026, at 3:00 p.m.

Proposals can be sent electronically (PDF Format) to the attention of:

Stéphane Cyr
Chief Administrative Officer
Municipality of the District of Clare
E-mail: cao@munclare.ca

The Municipality reserves the right to accept or reject any or all proposals.

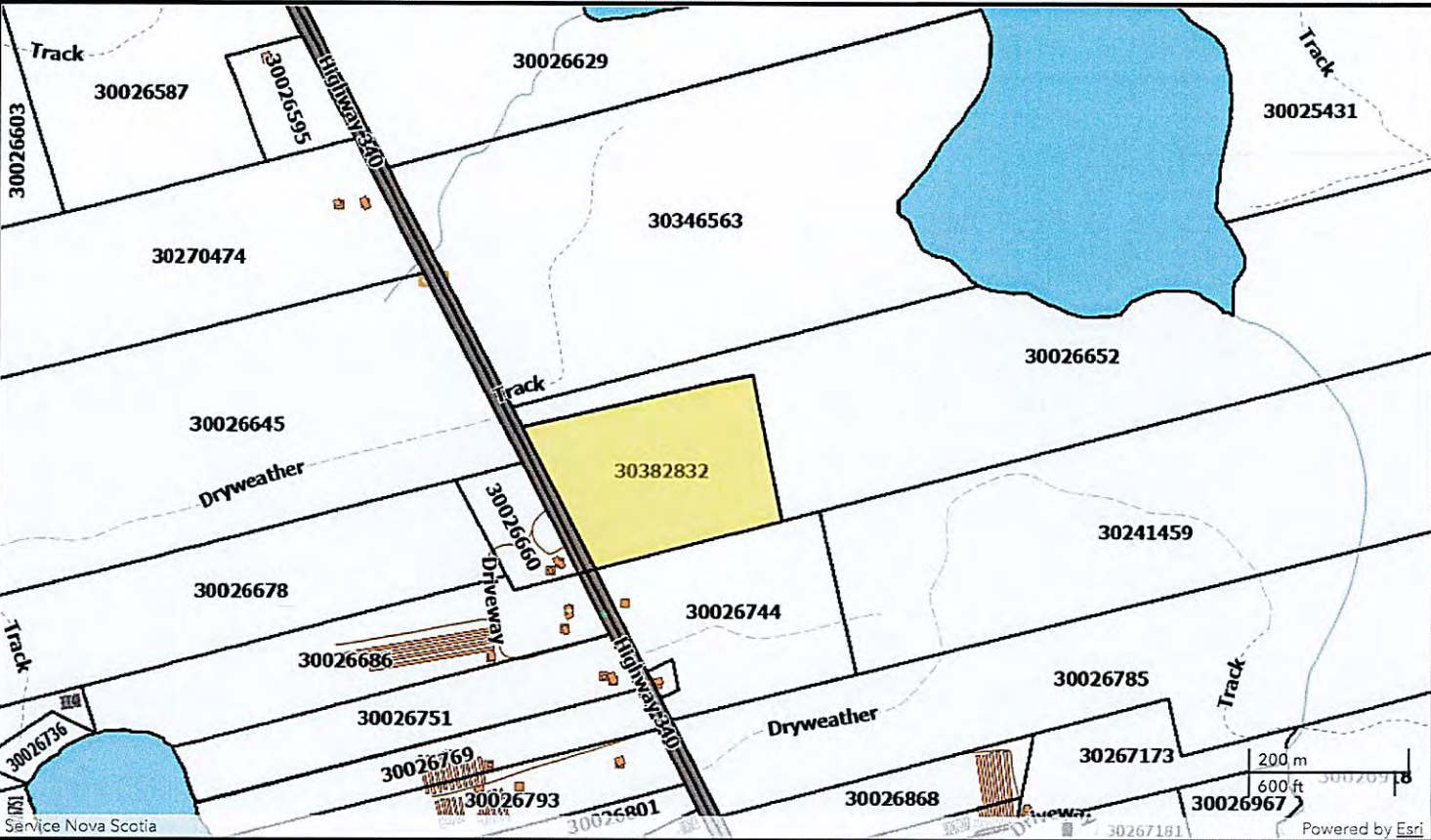
A confirmation email of receipt must be obtained from the Municipality by the respondent otherwise, the proposal has not been received.

Amendments to a proposal may be submitted electronically prior to the closing time, marked with the proponent's name and the RFP title and number. Proposals already delivered may be withdrawn by written notice only, provided such notice is received at the office prior to closing time.

All information provided in response to this RFP shall be treated as confidential and will be used only for the purpose of evaluating proposals.

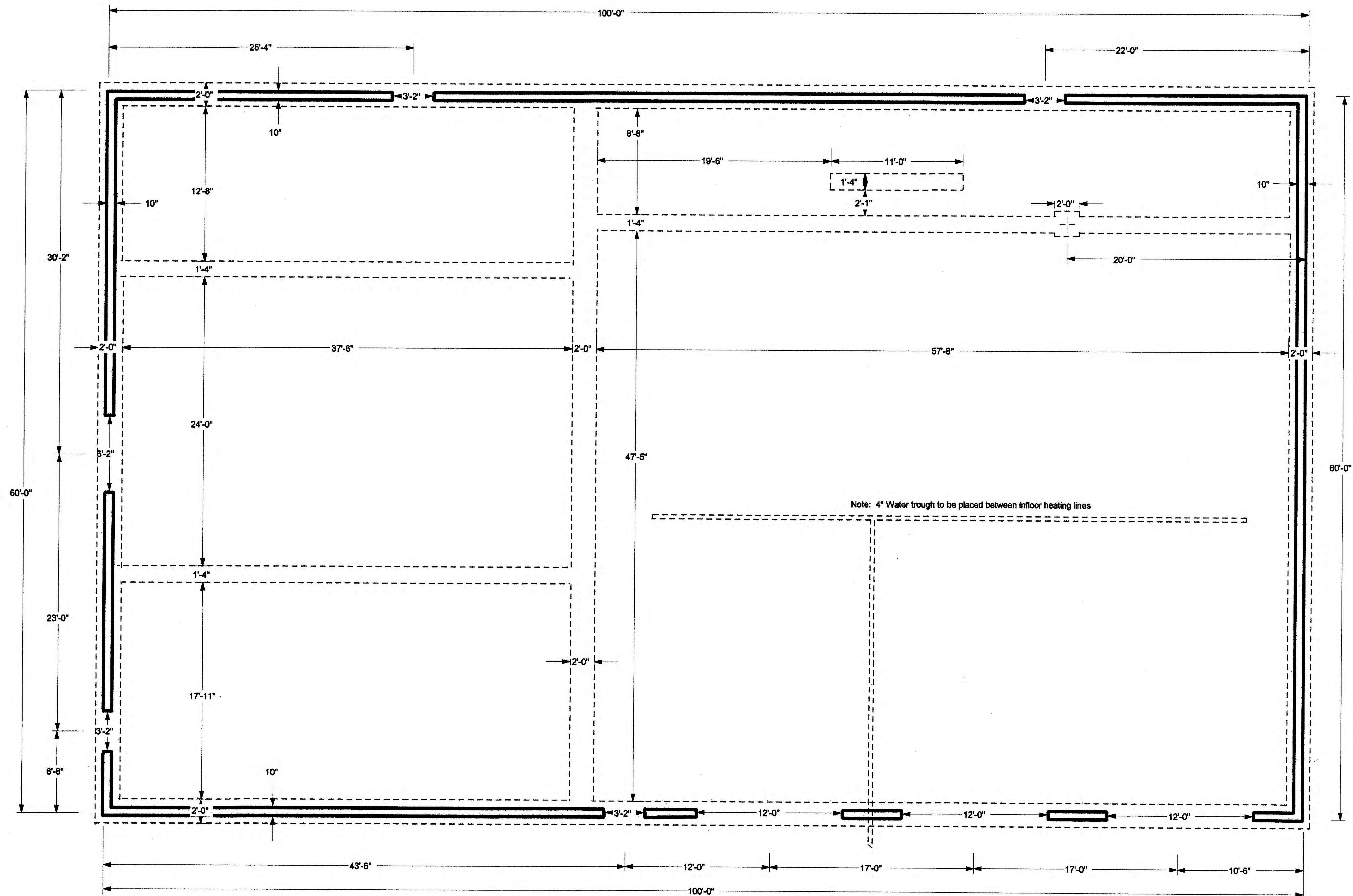
All costs associated with the preparation and submission of the proposal, including any costs incurred by the proponent after closing time, will be borne solely by the proponent.

By submitting a proposal, the proponent acknowledges and agrees that the Municipality will not be responsible for any costs, expenses, losses, damages (including damages for loss of anticipated profit) or liabilities incurred by the proponent as a result of submitting a proposal.



PID:	30382832 Details	Address:	NO 340 HIGHWAY HASSETT LOT 1	AAN:	11048323
County:	DIGBY COUNTY			Value:	\$7,100.00 (2026 MUNICIPAL FOREST)
LR:	LAND REGISTRATION	Owner:	MUNICIPALITY OF THE DISTRICT OF CLARE		

The Provincial mapping is a graphical representation of property boundaries which approximate the size, configuration and location of parcels. Care has been taken to ensure the best possible quality, however, this map is not a land survey and is not intended to be used for legal descriptions or to calculate exact dimensions or area. The Provincial mapping is not conclusive as to the location, boundaries or extent of a parcel [Land Registration Act subsection 21(2)]. THIS IS NOT AN OFFICIAL RECORD.



Notes:

All Building Technicians are to conform to Local Building Codes.

All measurements are to be verified by the General Contractor before construction begins.

Some parts and/or components of these plans may require to be Engineer designed and approved.

Perimeter footings and those of the truck bay / public hall separation are 24" x 12" poured concrete.

Footings in the Public Hall and inside the Truck Bay are to be 16" x 8" poured concrete.

All opening sizes are RSO.

Perimeter foundation walls are 10" thick.

Project:

Salmon River Fire Hall

Date: February 26, 2008

Revision 1: March 19, 2008

Revision 2: April 15, 2008

Revision 3:

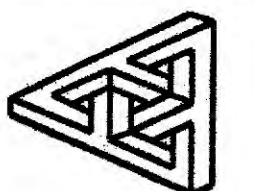
Revision 4:

Revision 5:

Revision 6:

Revision 7:

Revision 8:



Perspective Residential Specialists

PO Box 181 Yarmouth NS B5A 4B2

Ph/Fax: (902) 749-0698

www.perspectives.ca

e-mail: pccs@ns.sympatico.ca

drawn by Victor Moulaison

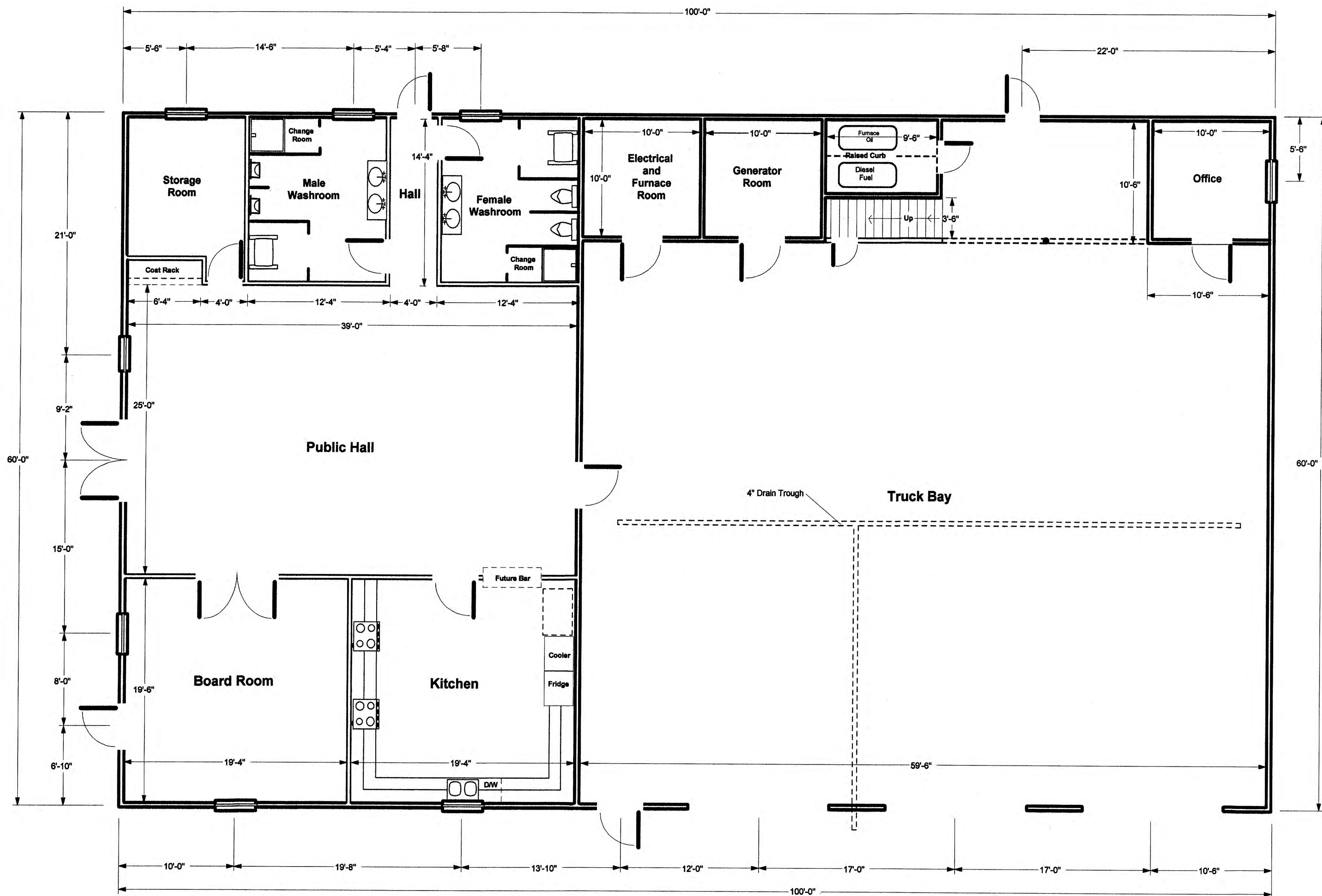
Title:

Foundation Plan

Scale:

1/4" = 1' - 0"

Sheet: **1** of **6**



Notes:

All Building Technics are to conform to Local Building Codes.

All measurements are to be verified by the General Contractor before construction begins.

Some parts and/or components of these plans may require to be Engineer designed and approved.

Generator Room walls to be 2x6 construction and insulated sound barrier.

Generator is to be a 20kw propane or diesel fueled as per the owners.

Include additional electrical requirements in the kitchen for future needs as per owners.

Provide a 6" raised curb around fuel tanks for spillage containment.

All electrical requirements are to conform to Electrical Codes.

Wall between the Truck Bay and the Public Hall is to be 2x6 construction with a 45 minute Fire Rating.

Ceiling height for rooms in the Truck Bay area to be 7'-6" with storage area above.

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Salmon River Fire Hall

Date: February 26, 2008

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Revision 2: April 10, 2008

Revision 3:

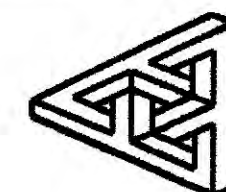
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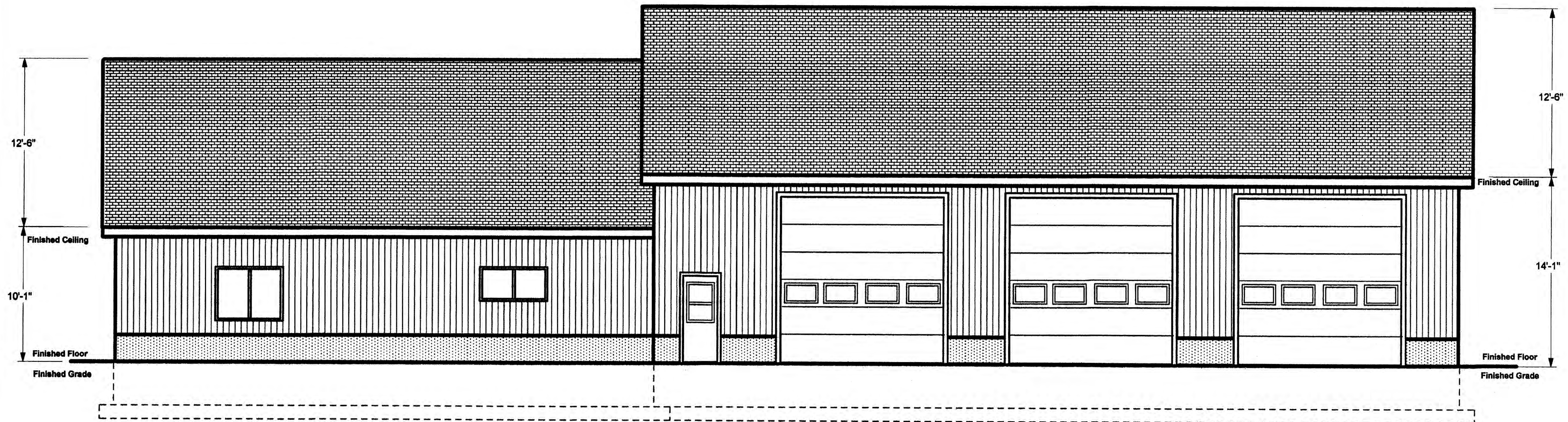
Title:

Floor Plan

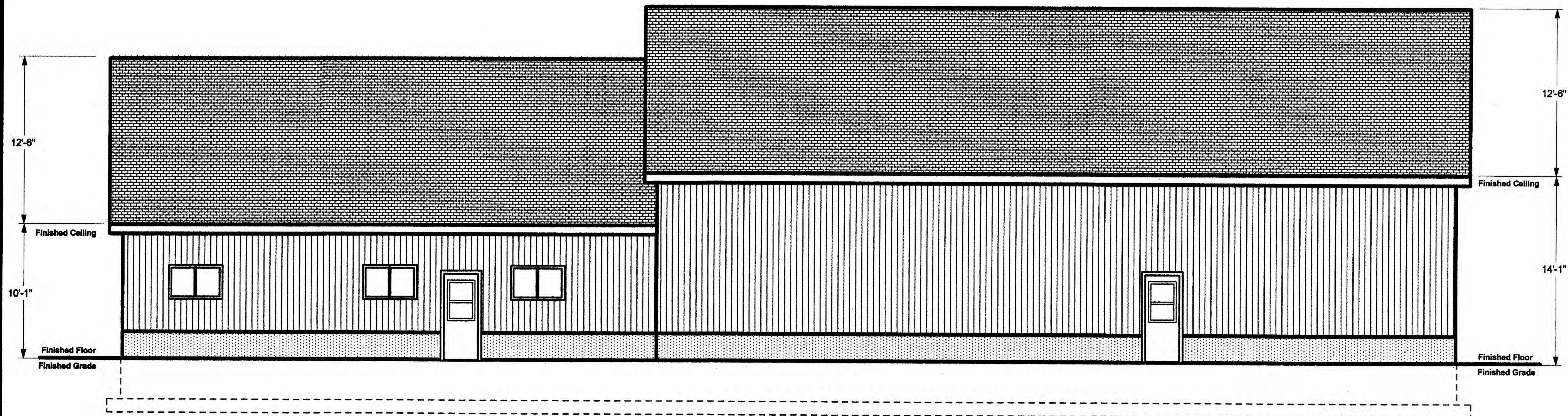
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Sheet: **2** of **6**



FRONT ELEVATION



REAR ELEVATION

Notes:

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Roof overhang 12" all the way around.

Project:

**Salmon
River
Fire Hall**

Date: February 26, 2008

Revision 1: March 19, 2008

Revision 2: April 15, 2008

Revision 3:

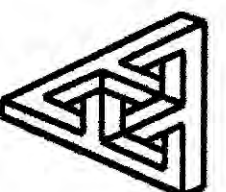
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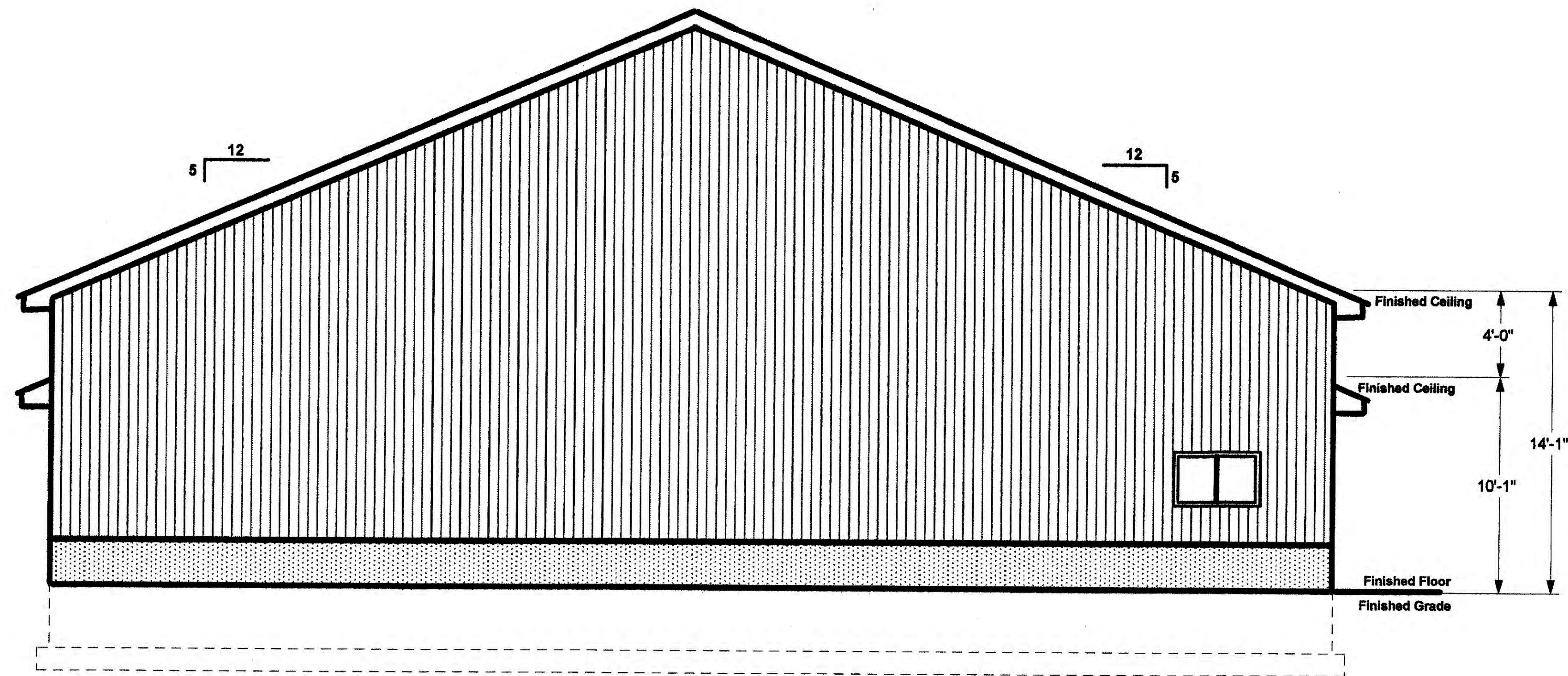
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Elevations

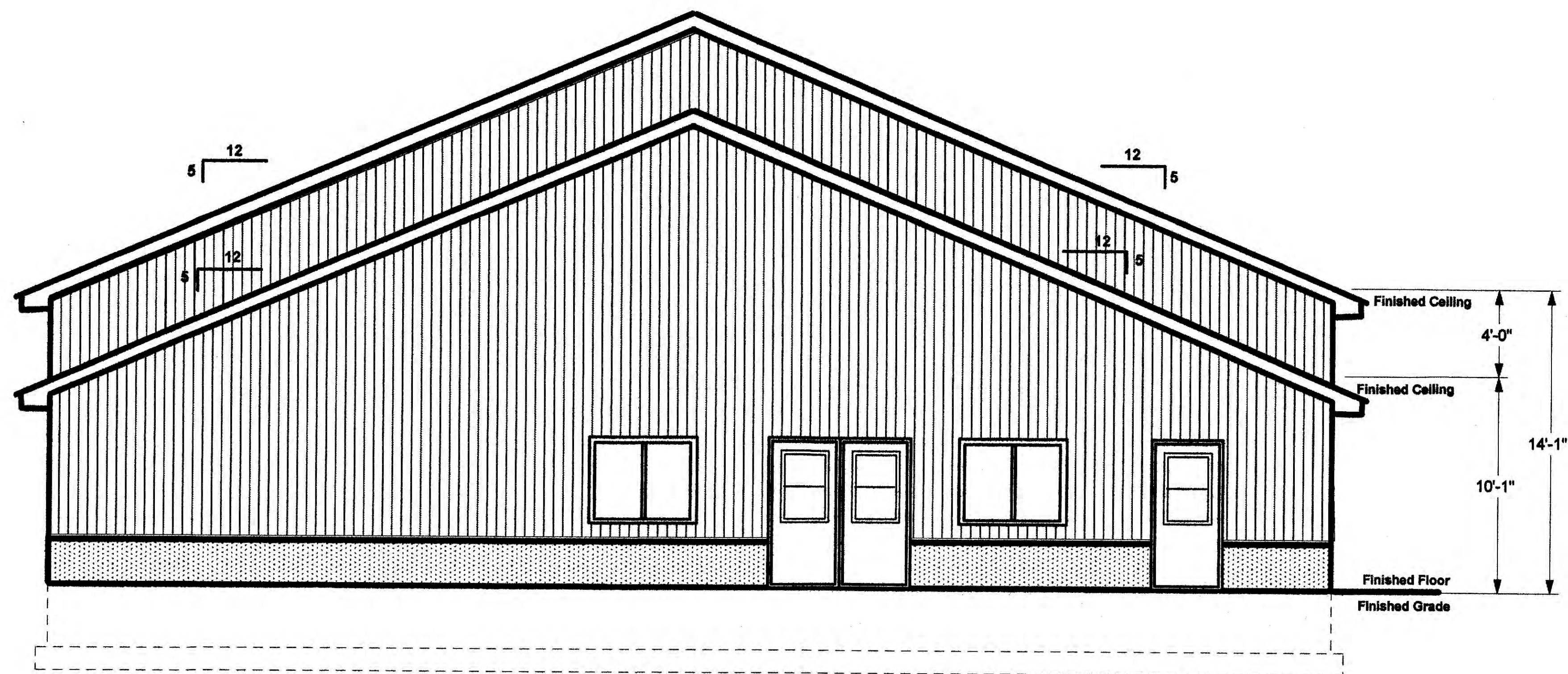
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1/4" = 1' - 0"

Sheet: **3** of **6**



RIGHT ELEVATION



LEFT ELEVATION

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**Salmon
River
Fire Hall**

Date: February 26, 2008

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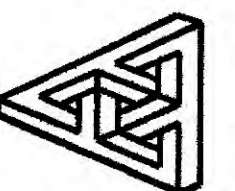
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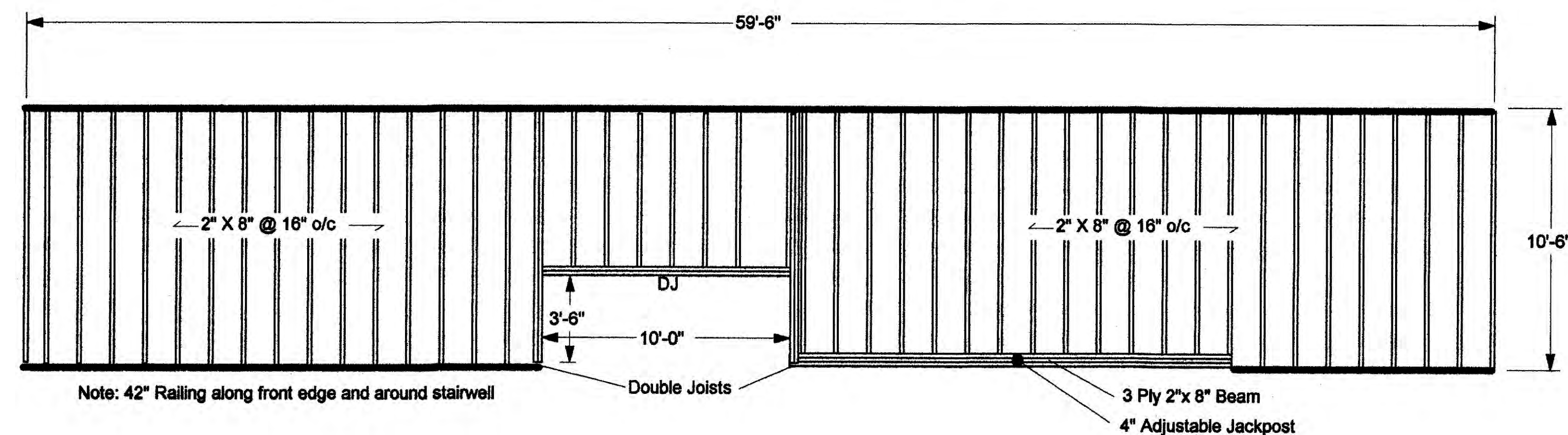
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Elevations

Scale:

1/4" = 1' - 0"

Sheet: **4** of **6**



SECOND FLOOR PLAN

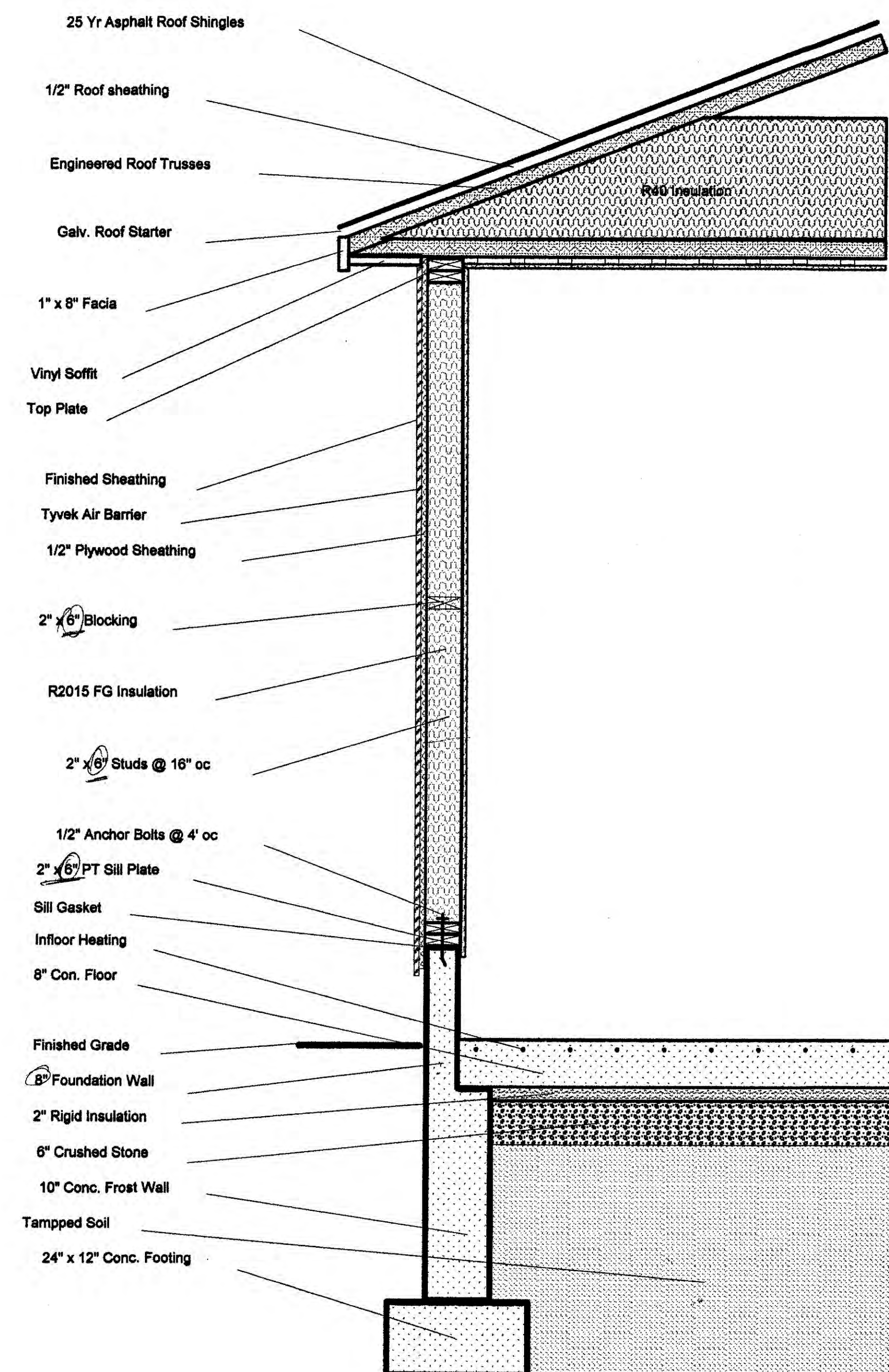
1/4" = 1' - 0"

Door Schedule

Fuel Storage Room	2/8 x 6/8 Flat Panel Exterior Steel Door	LHOS
Generator Room	3/0 x 6/8 Flat Panel Exterior Steel Door	LHOS
Rear Exit	3/0 x 6/8 Flat Panel Exterior Steel Door	LHOS
Office	2/8 x 6/8 Solid Mahogany Flat Panel Door	RHOS
Electrical Room	3/0 x 6/8 Flat Panel Exterior Steel Door	RHOS
Front Exit	3/0 x 6/8 Flat Panel Exterior Steel Door w Vented Lite	RHOS
Truck Bay / Public Hall	3/0 x 6/8 Solid Mahogany Flat Panel Door	RHIS
Storage Room	3/0 x 6/8 Solid Mahogany Flat Panel Door	LHIS
Female Washroom	3/0 x 6/8 Solid Mahogany Flat Panel Door	RHIS
Male Washroom	3/0 x 6/8 Solid Mahogany Flat Panel Door	LHIS
Kitchen	3/0 x 6/8 Solid Mahogany Flat Panel Door w Fx Lite	RHIS
Boardroom	6/0 x 6/8 Solid Mahogany Flat Panel Door	
Public Hall Exit	6/0 x 6/8 Garden Flat Panel Exterior Steel Door w Fx lites	LHOS/RHOS
Hallway Exit	3/0 x 6/8 Flat Panel Exterior Steel Door	LHOS
Boardroom Exit	3/0 x 6/8 Flat Panel Exterior Steel Door	RHOS
Truck Bay	12/0 x 12/0 Sectional Doors (x3) w Lites & Openers & Hardware	

Window Schedule

Female Wasroom	SGL3630
Male Washroom	SGL3630
Public Hall	SGL6036
Boardroom	SGL4236
Boardroom	SGL4236
Kitchen	SGL3630
Office	SGL3630



Wall Details

(not to scale)

Notes:

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Project: Salmon River Fire Hall

Date: February 26, 2008

Revision 1: March 19, 2008

Revision 2: April 15, 2008

Revision 3:

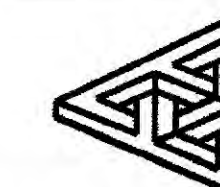
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drawn by Victor Moulaison

Title: 2nd Floor

Scale:

1/4" = 1' - 0"

Sheet: **5** of **6**

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Some parts and/or components of these plans may require to be Engineer designed and approved.

Roofing to be 25 year asphalt shingles (color to be chosen by owners).

Engineered roof trusses are to be 5/12 Pitch, spanning 60' @ 24" o/c with a 12" cantilever overhang.

Project:

**Salmon
River
Fire Hall**

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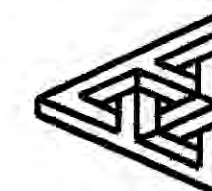
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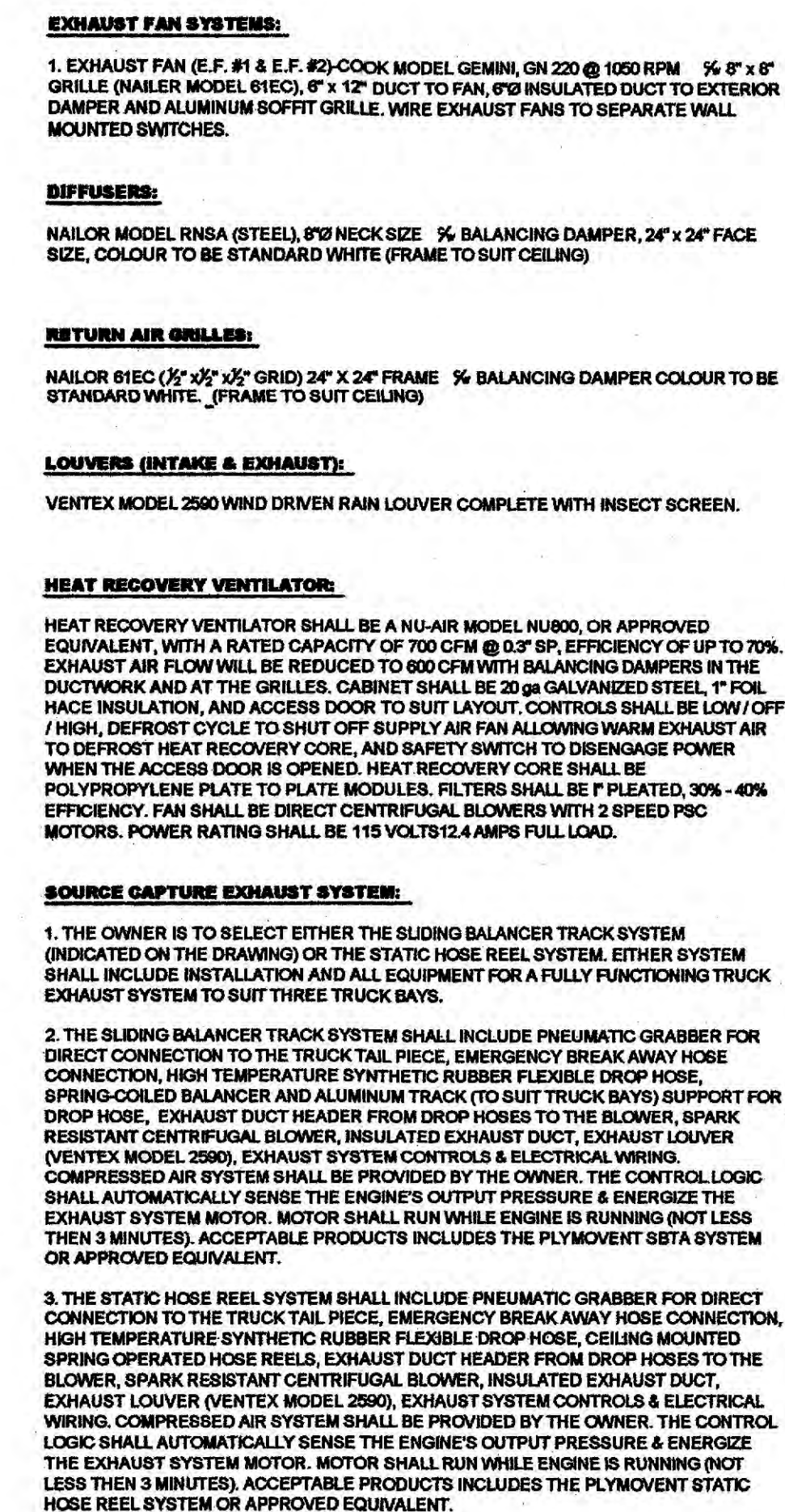
Title:

Roof Layout

Scale:

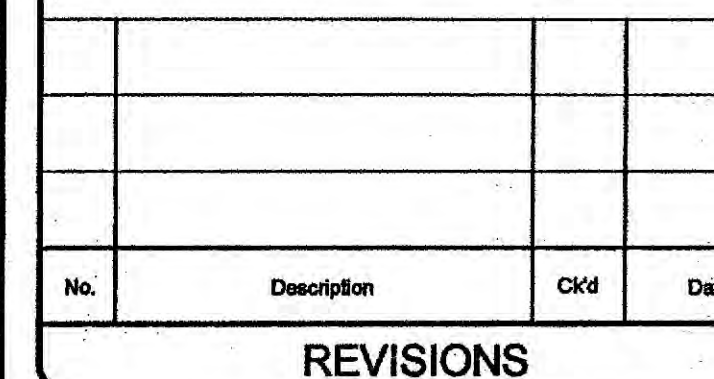
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Sheet: **6** of **6**

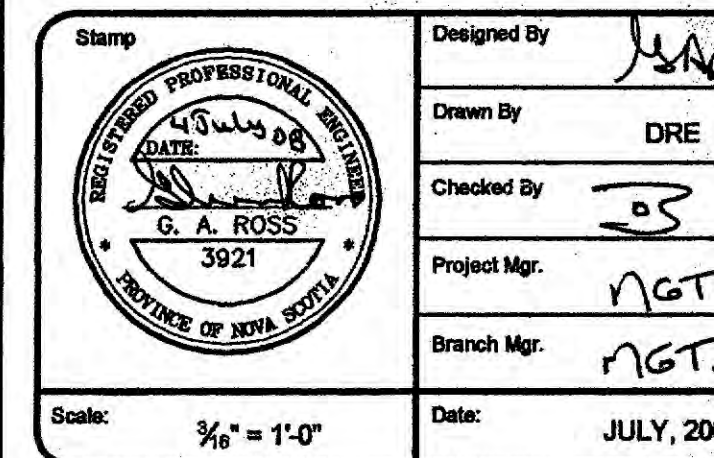


- NOTES (GENERAL):**
1. VENTILATION DESIGN BASED ON GENERAL BUILDING DIMENSIONS AND FEATURES DEPICTED WITHIN BUILDING DESIGN DRAWINGS BY PERSPECTIVE RESIDENTIAL SPECIALISTS TITLED "SALMON RIVER FIRE HALL" (REVISION 2, APRIL 15, 2009).
2. THE VENTILATION INDICATED ON THIS DRAWING IS FOR THE TRUCK BAY, PUBLIC HALL AND THE WASHROOMS. VENTILATION DESIGN FOR THE OTHERS (IF REQUIRED) WILL BE PROVIDED BY OTHERS.

July 2008 11:23 AM F:\2008 jobs\LH0825107 -- Clare Small Jobs 2008\Clare - Salmon River Fire Hall\Drawings\501 VENTILATION.dwg



RELEASED FOR CONSTRUCTION



Project Client
 **Municipality of the
County Clare**

Project Title

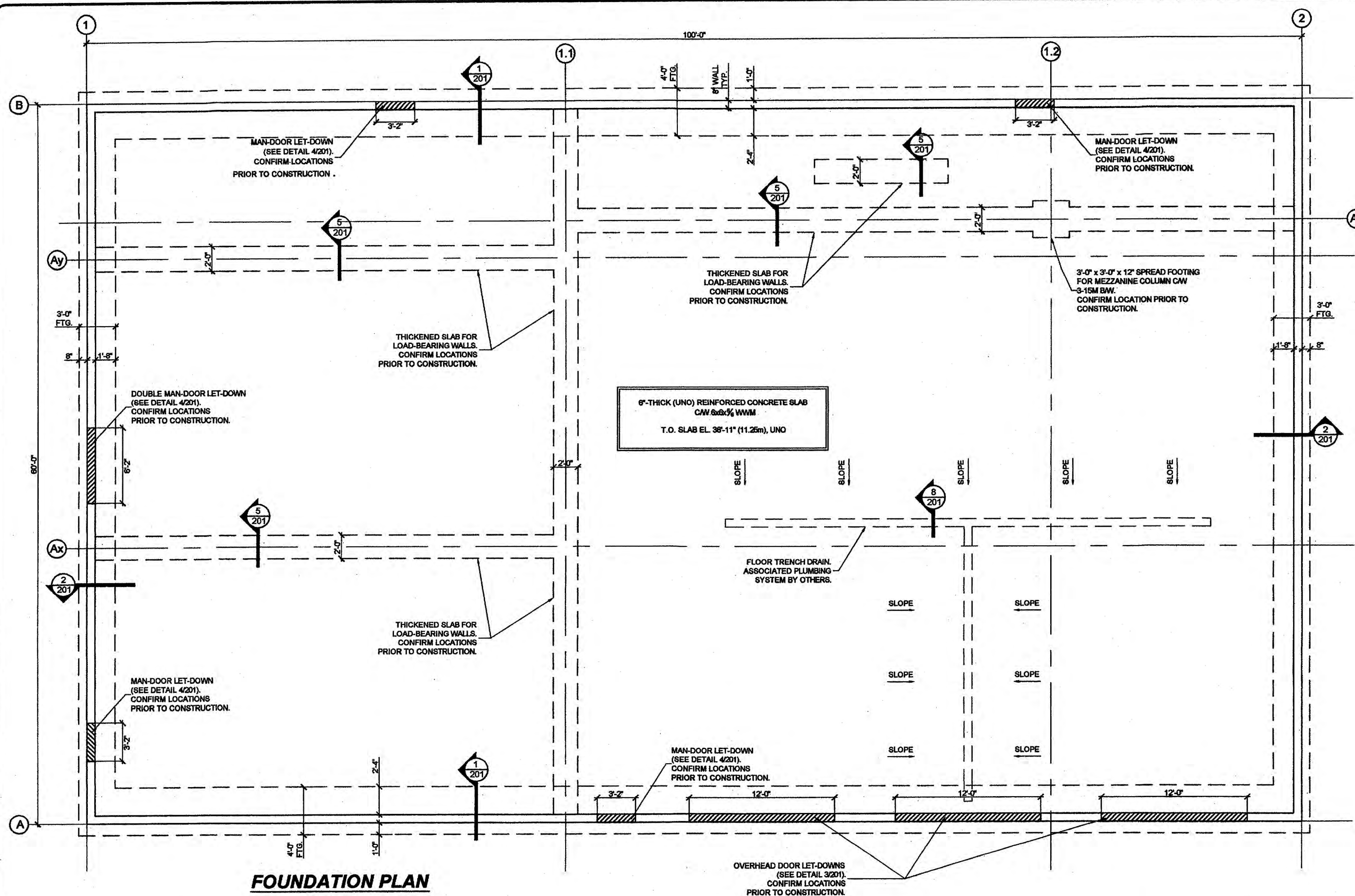
Salmon River Fire Hall

Dwg. Title

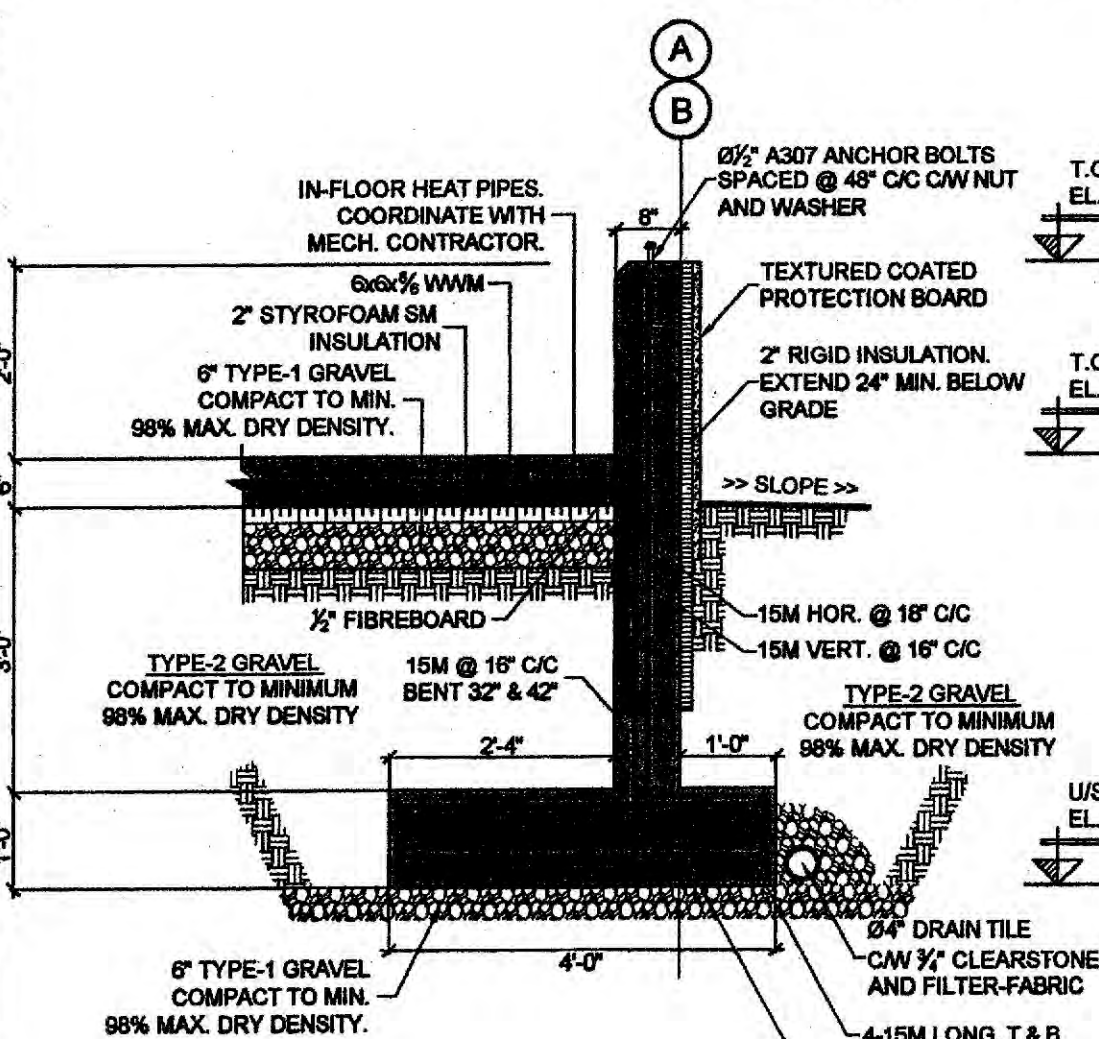
**Ventilation
(Truck Bay, Public Hall
Washrooms)**

Project No. LH0825107	Drawing No. 501	Rev. No. 0
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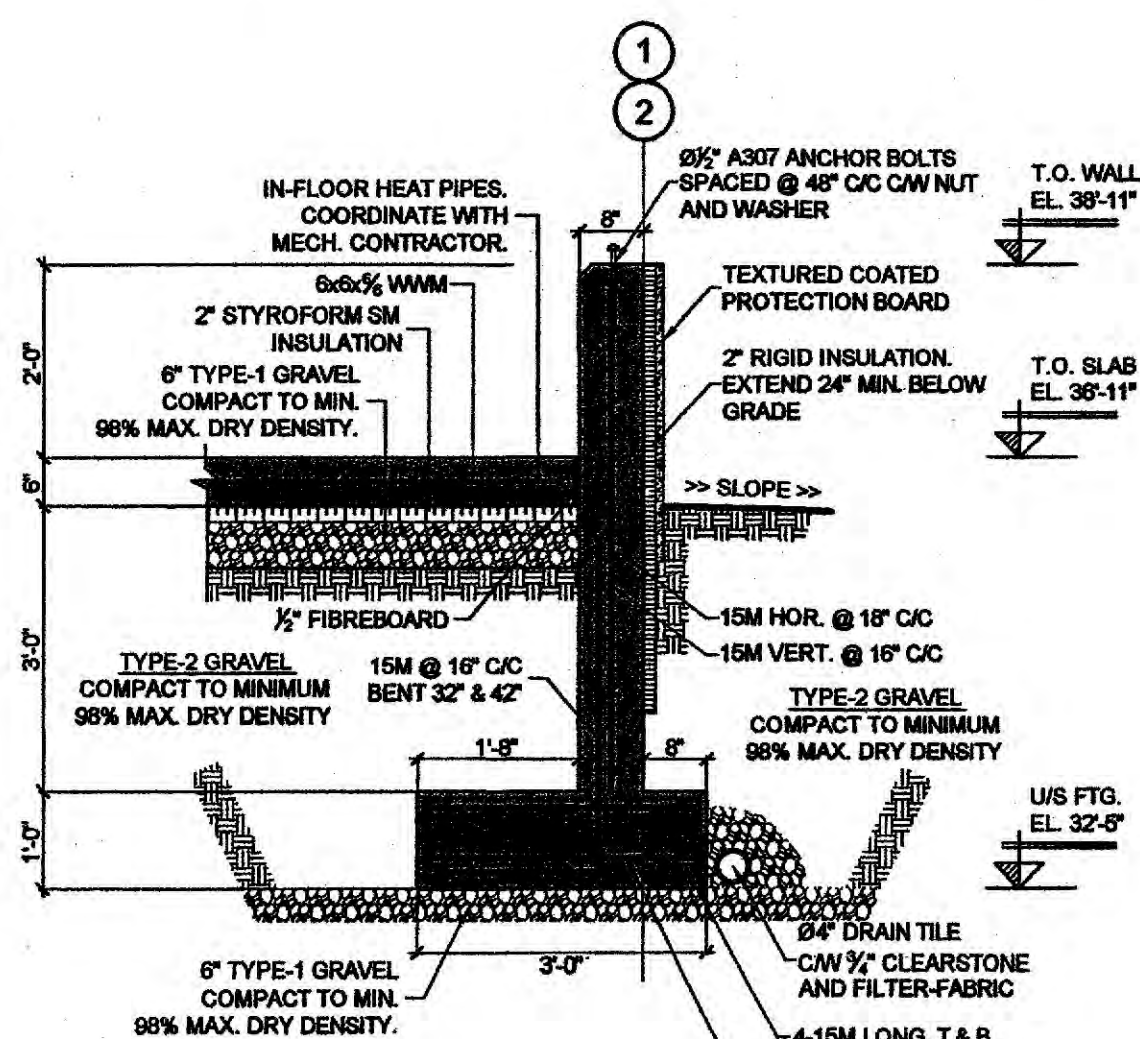
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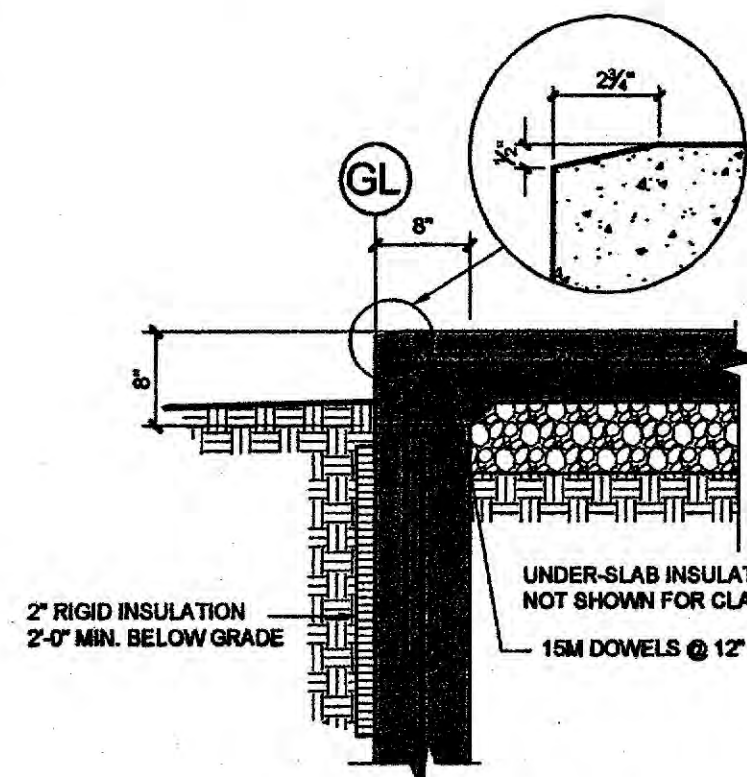
FOUNDATION PLAN
SCALE: $\frac{3}{16}'' = 1'-0''$



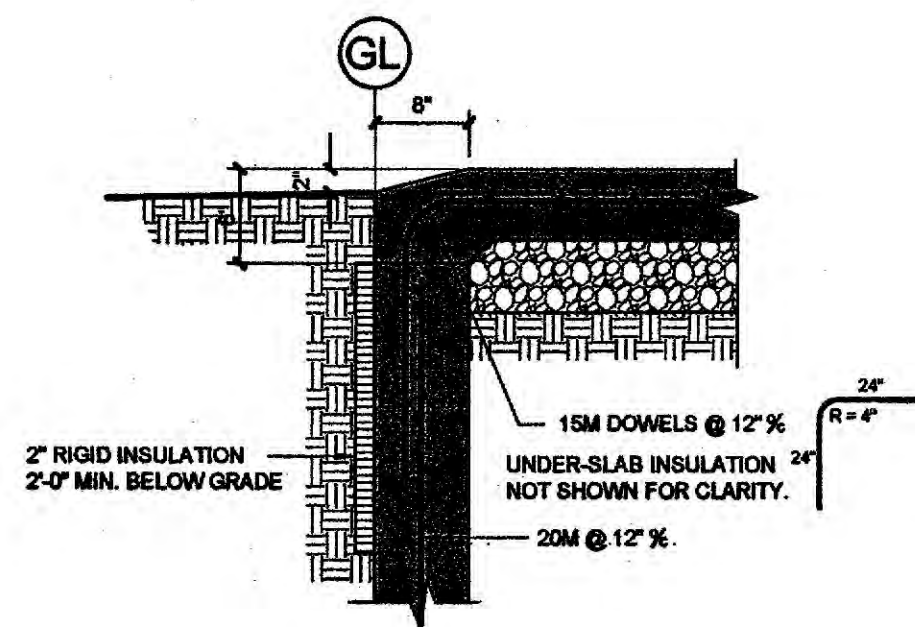
FOUNDATION DETAIL 1
SCALE: $\frac{1}{2}'' = 1'-0''$



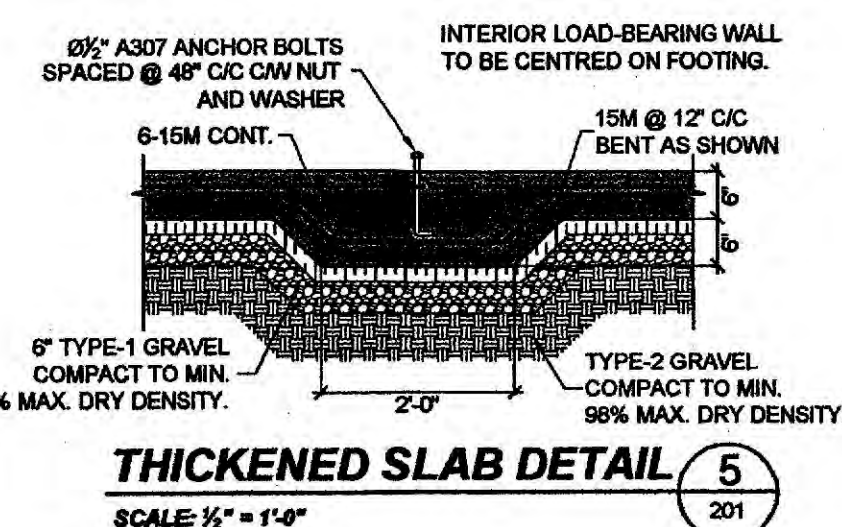
FOUNDATION DETAIL 2
SCALE: $\frac{1}{2}'' = 1'-0''$



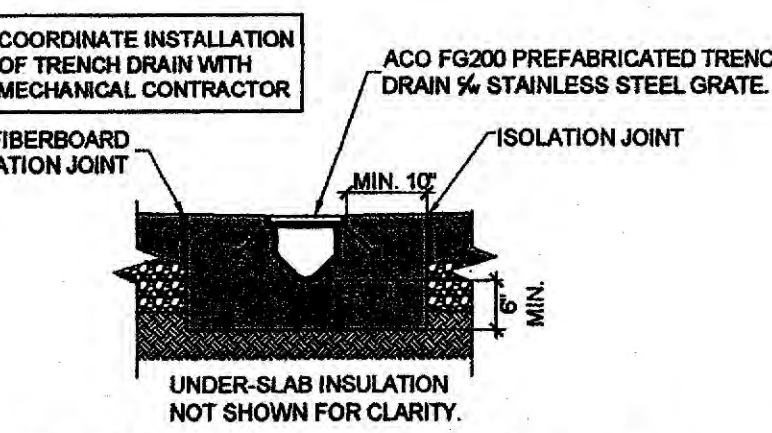
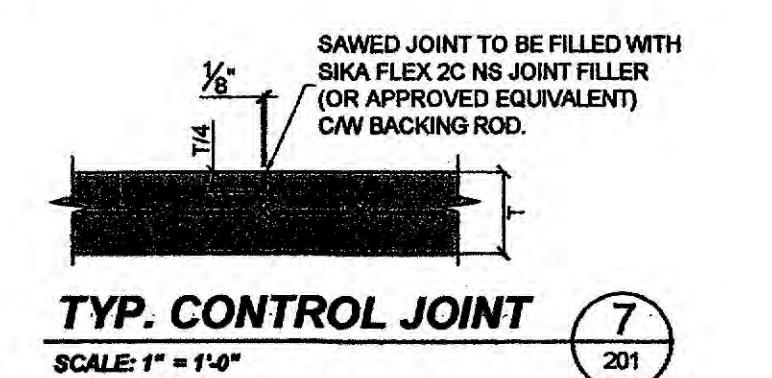
DETAIL 3
TYP @ MANDOORS
SCALE: $\frac{3}{4}'' = 1'-0''$



DETAIL 4
TYP @ O/H DOORS
SCALE: $\frac{3}{4}'' = 1'-0''$



TYP. CONSTRUCTION JOINT
SCALE: $1'' = 1'-0''$



TRENCH DRAIN DETAIL 8
SCALE: $\frac{1}{2}'' = 1'-0''$

- GENERAL:**
- FOUNDATION DESIGN BASED ON GENERAL BUILDING DIMENSIONS AND FEATURES DEPICTED WITHIN BUILDING DESIGN DRAWINGS BY PERSPECTIVE RESIDENTIAL SPECIALISTS TITLED "SALMON RIVER FIRE HALL" (REVISION 2, APRIL 15, 2008).
- FOUNDATION & REINFORCED CONCRETE NOTES:**
- ALL CONCRETE, CONCRETE MATERIAL, FORMS, PRACTICES ETC., SHALL CONFORM TO CSA-A23.1 (LATEST EDITION) UNLESS NOTED OTHERWISE.
 - MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 28 MPa UNLESS NOTED OTHERWISE.
 - ALL CONCRETE TESTING BY THE CONTRACTOR SHALL CONFORM TO CSA-A23.1. SUBMIT ALL TEST RESULTS TO THE ENGINEER FOR REVIEW.
 - USE A NOMINAL SIZE OF COARSE AGGREGATE OF $\frac{1}{2}'' - \frac{3}{4}''$ (14mm - 20mm) THROUGHOUT.
 - ALL CONCRETE SHALL BE AIR ENTRAINED TO 5% - 7% AND SHALL HAVE A SLUMP OF 3" - 3 $\frac{1}{2}$ " (75mm - 90mm) UNLESS NOTED OTHERWISE.
 - CONCRETE PROTECTIVE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS NOTED OTHERWISE):
(A) CAST AGAINST FILL (NO FORMWORK) - 3" (75mm)
(B) EXPOSED TO EARTH OR WATER - 2" (50mm)
(C) SLABS-ON-GRADE - 2" FROM SURFACE
(D) FOUNDATION WALLS - CENTERED
 - THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION DURING THE PLACEMENT OF CONCRETE TO ENSURE THAT THE REINFORCING STEEL IS MAINTAINED IN ITS CORRECT POSITION.
 - NO CONCRETE SHALL BE PLACED ON FROZEN SOIL OR WATER.
 - CONSTRUCTION JOINTS SHALL BE LOCATED SO AS TO LEAST IMPAIR THE STRENGTH OF THE STRUCTURE.
 - CONTROL JOINTS ARE REQUIRED TO A MAXIMUM AREA OF 225 SQ. FT. (20 sq. m) AT A MAXIMUM LENGTH OF 15'-0" (4.5 m).
 - FORMWORK SHALL BE LEFT IN PLACE FOR A MINIMUM PERIOD OF 24 HOURS FOLLOWING PLACEMENT OF CONCRETE UNLESS NOTED OTHERWISE.
 - FOR OPENINGS REQUIRED BY OTHER TRADES, SEE MECHANICAL DRAWINGS AND/OR ARCHITECTURAL DRAWINGS. NO OPENINGS SHALL BE MADE IN FLOOR SLABS NEAR A COLUMN OR A WALL WITHOUT THE SPECIFIC APPROVAL FROM THE ENGINEER. WHERE SMALL DIAMETER PIPING IS ALLOWED, IT SHALL BE INDIVIDUALLY SLEEVED AND LOCATED SUCH THAT NO REINFORCING STEEL IS CUT.
 - ALL REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 400 MPa AND SHALL CONFORM TO CSA-G30.18 (LATEST EDITION) AND SHALL BE DETAILED, FABRICATED, PLACED, AND SUPPORTED IN ACCORDANCE WITH "REINFORCING STEEL MANUAL OF STANDARD PRACTICE" BY THE REINFORCING STEEL INSTITUTE OF CANADA (LATEST EDITION).
 - ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO CSA-G30.3 (LATEST EDITION) AND CSA-G30.5 (LATEST EDITION).
 - ALL REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 30 BAR DIAMETERS UNLESS NOTED OTHERWISE.
 - CORNER "L" BARS SHALL BE PROVIDED AT ALL BEAM/WALL CORNERS AND ALL LOCATIONS WHERE PERPENDICULAR BEAMS/WALLS INTERSECT.
 - ALL ANCHOR BOLTS SHALL BE A307 STEEL ANCHOR BOLTS AND ARE TO BE SECURED IN CORRECT POSITION BEFORE PLACING CONCRETE.
 - ENSURE ALL FLOOR DRAINS AND UNDER SLAB PIPING LOCATIONS COINCIDE WITH THE PLUMBING PLAN AND ARE ACCURATELY LOCATED. PROVIDE SLEEVES AS REQUIRED.

EXCAVATION & BACKFILL NOTES:

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY AT THE PLACE OF WORK AND SHALL ABIDE BY ALL REQUIREMENTS OF THE NOVA SCOTIA OCCUPATIONAL HEALTH & SAFETY ACT (LATEST EDITION) AND THE WORKER'S COMPENSATION BOARD OF NOVA SCOTIA (WCB).
- THE WORK IS TO BE EXECUTED AND COMPLETED IN FULL IN THE BEST POSSIBLE WORKMANLIKE MANNER IN ACCORDANCE WITH ALL DRAWINGS AND CONSTRUCTION NOTES / SPECIFICATIONS ISSUED BY THE ENGINEER COVERING THE WORK.
- PROTECT ALL EXCAVATIONS FROM FREEZING AND KEEP EXCAVATIONS CLEAN, FREE OF STANDING WATER, AND LOOSE SOIL.
- PROVIDE TEMPORARY DRAINAGE AND PUMPING AS NECESSARY TO KEEP EXCAVATIONS AND SITE FREE FROM WATER. REMOVE ALL HARMFUL MATTER INCLUDING, BUT NOT LIMITED TO, ALL SNOW AND ICE, CONSTRUCTION DEBRIS, ORGANIC SOIL AND FREE STANDING WATER FROM SPACES TO BE FILLED.
- DO NOT PLACE MATERIAL WHICH IS FROZEN OR PLACED ON FROZEN GROUND.
- BACKFILL BOTH SIDES OF FOUNDATION WALLS EQUALLY AND SIMULTANEOUSLY SO TO AVOID UNBALANCED LATERAL LOADING.

GRAVEL NOTES:

GRAVELS SHALL BE PIT RUN OR MANUFACTURED SAND AND GRAVEL CONSISTING OF HARD DURABLE PARTICLES FREE OF DELETERIOUS MATERIALS SUCH AS SLOW ROCK, ORGANICS, MUD FROZEN GROUND, ICE, SNOW, AND FOREIGN MATERIAL MEETING THE FOLLOWING GRADATION REQUIREMENTS:

GRAVEL BORROW	SIEVE SIZE	PERCENT PASSING
112,000	100	
14,000	15-65	
80	3-10	

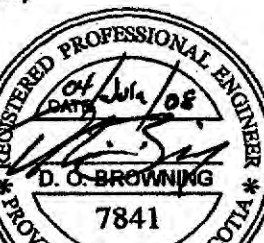
TYPE 1	SIEVE SIZE	PERCENT PASSING
20,000	100	
14,000	50-85	
5,000	20-50	
160	5-12	
80	3-8	

TYPE 2	SIEVE SIZE	PERCENT PASSING
80,000	100	
56,000	70-100	
28,000	50-80	
14,000	35-65	
5,000	20-50	
160	5-12	
80	0-7	

No.	Description	Ckd	Date

REVISIONS

RELEASED FOR CONSTRUCTION

Stamp	Designed By	
	Drawn By	DOB
	Checked By	
	Project Mgr.	
	Branch Mgr.	
	Scale:	AS SHOWN
Date:	JULY 2008	

HORNER ASSOCIATES LIMITED
consulting and design engineers

89 Queen Street
Truro, NS

Project Client
Municipality County of Clare

Project Title
Salmon River Fire Hall

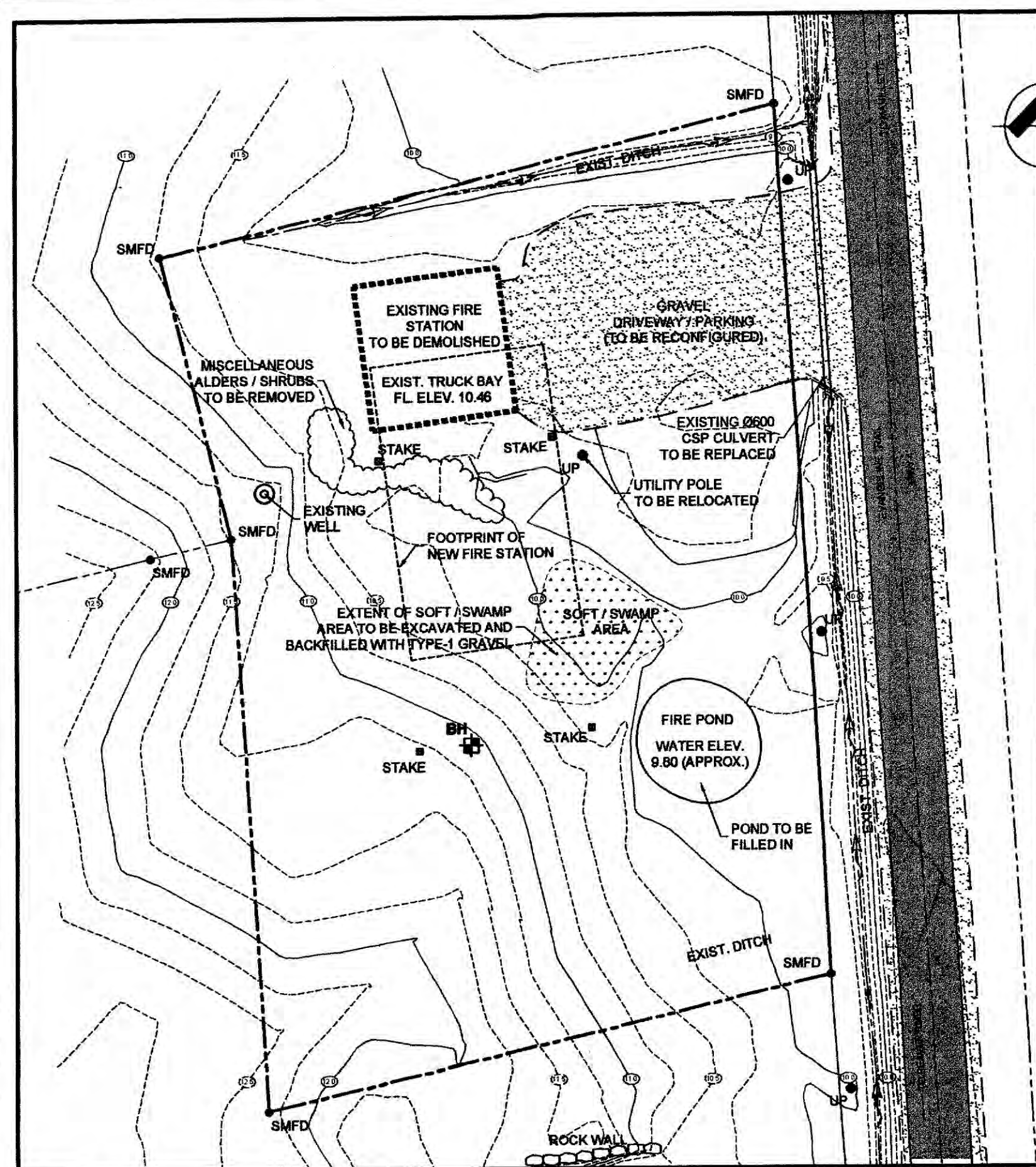
Dwg. Title
Foundation Plan & Details

Project No.
LH0825107

Drawing No.
201

Rev. No.
0

W. N. Horner and Associates Limited This Drawing is NOT to be Scaled



SITE NOTES

A. GENERAL

1. ALL SITE & EARTHWORK SHALL COMPLY WITH THE STANDARD SPECIFICATIONS FOR MUNICIPAL SERVICES (LATEST EDITION) STATE OF CALIFORNIA, THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION & MAINTENANCE (LATEST EDITION), AND THE STANDARD SPECIFICATIONS FOR WATER SUPPLY (LATEST EDITION) AND ALL REGULATION PURSUANT TO THE ACT.
2. BACKFILL MATERIAL UNDER/ AROUND BUILDING TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, SEE FOUNDATION DRAWINGS.
3. FOUNDATION DRAIN LINE AND ASSOCIATED WORK TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, SEE FOUNDATION DRAWINGS.
4. TRUCK BAY TRENCH DRAIN LINE AND ASSOCIATED WORK TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, SEE MECHANICAL DRAWINGS.
5. CONFIRM LOCATION, SIZE, AND SPECIFICATIONS OF ON SITE SEPTIC SYSTEM FROM THE SUPPLIER/ INSTALLER PRIOR TO INSTALLATION.

B. SITE DRAINAGE & WATER COURSES:

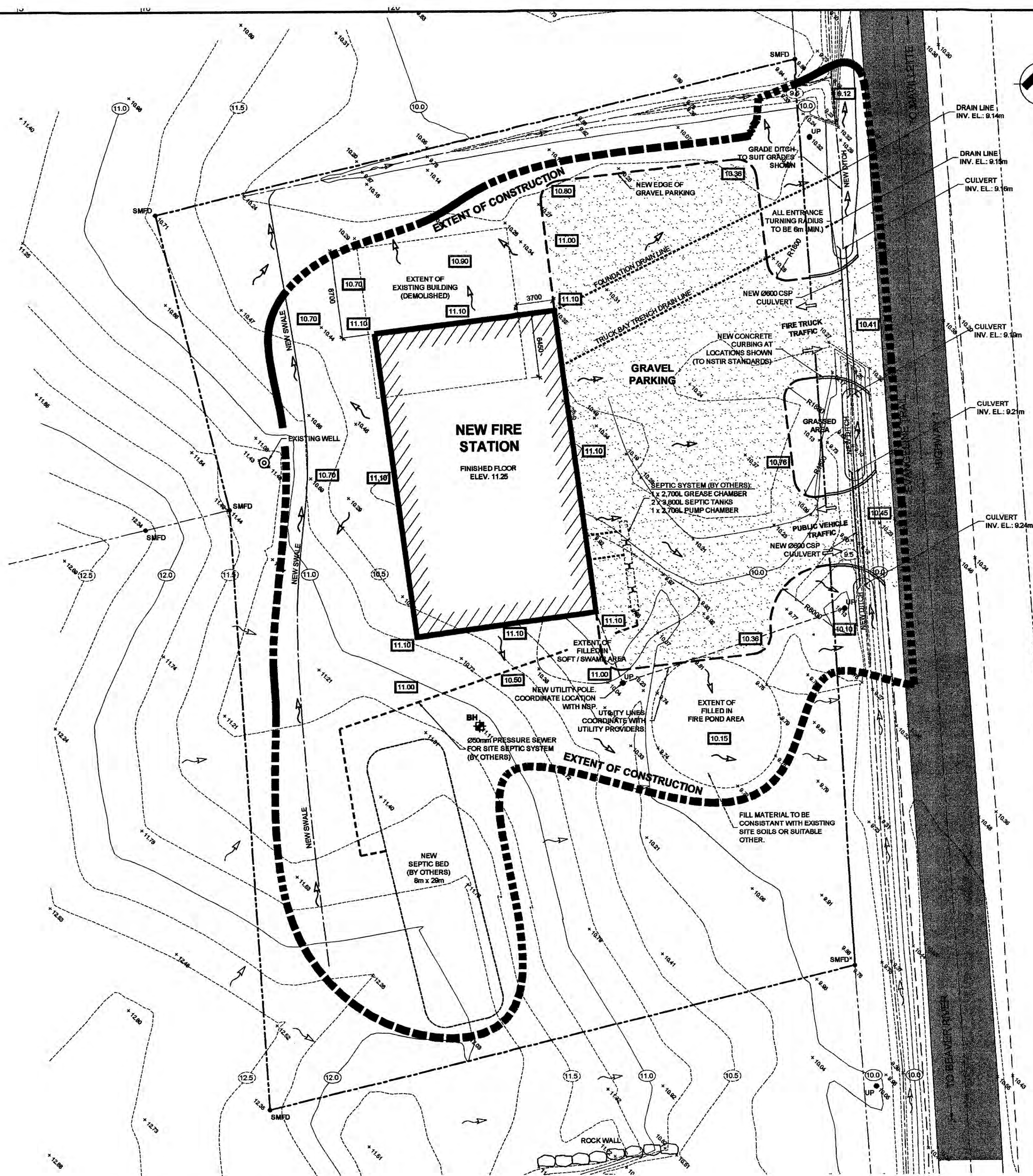
1. ALL SURFACES SHALL BE SLOPED A MINIMUM OF 1.5%, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, TO PROVIDE DRAINAGE TO OPEN DITCHES AND/OR WATERWAYS AND AWAY FROM BUILDINGS. THE CONTRACTOR IS TO ENSURE THAT THERE SHALL BE NO STANDING WATER ON SITE EXCEPT IN AREAS DESIGNATED BY THE ENGINEER.
2. MINIMUM SLOPES FOR DITCHES AND SWALES SHALL BE 1.5% UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.

C. SITE ACCESS & DRIVEWAYS:

1. THE CONTRACTOR SHALL PROVIDE FOR TEMPORARY VEHICLE ACCESS DURING CONSTRUCTION AS REQUIRED BY THE NOVA SCOTIA DEPARTMENT OF TRANSPORTATION & INFRASTRUCTURE RENEWAL AND AS REQUIRED TO ACCOMMODATE BUILDING SERVICING.

D. TOPSOIL & FINISH GRADING:

1. THE CONTRACTOR SHALL PROVIDE TOPSOIL OVER ALL DISTURBED AREAS AS REQUIRED TO COMPLETE THE WORK.
2. TOPSOIL SHALL CONSIST OF MATERIAL STRIPPED FROM THE SITE AND/OR IMPORTED TOPSOIL SUPPLIED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL VERIFY THAT GRASSES ARE CORRECT, AND REMOVE DEBRIS, ROOTS, BRANCHES, AND OTHER DELETERIOUS MATERIAL PRIOR TO APPLYING TOPSOIL.
4. DO NOT APPLY TOP SOIL TO FROZEN SUBGRADE OR WHERE STANDING WATER IS EVIDENT.
5. THE CONTRACTOR IS TO GRADE THE SITE TO ELIMINATE ROUGH SPOTS AND LOW AREAS AND SHALL ENSURE POSITIVE DRAINAGE.



LEGEND:	
	EXISTING SPOT ELEVATION
	NEW SPOT ELEVATION
	SURVEY MARKER FOUND
	UTILITY POLE
	EXISTING BORE HOLE LOCATION
	WOOD STAKE
	EXISTING SURFACE WATER FLOW DIRECTION
	NEW SURFACE WATER FLOW DIRECTION
	ASPHALT
	GRAVEL
	CULVERT
	EXISTING CONTOURS (0.25m INTERVALS)

1	ISSUED FOR CONSTRUCTION		20 MAY 2008
0	FOR REVIEW		09 MAY 2008
No.	Description	Ch'd	Date
REVISIONS			

RELEASED FOR CONSTRUCTION

	Stamp	Designed By	<i>ES</i>
		Drawn By	LAO / DOB
		Checked By	<i>NGT</i>
		Project Mgr.	<i>ES</i>
		Branch Mgr.	<i>NGT</i>
Scale: AS SHOWN		Date: MAY, 2008	



HORNER
ASSOCIATES LIMITED
consulting and design engineers

89 Queen Street
Truro, NS

ADD

Municipality of Clare
Nova Scotia

Project Title

Salmon River Fire Hall

Dwg. Title

**Existing & Finished
Site Plan**

Project No. LH0825107	Drawing No. 101	Rev. No. 1
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